

### GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK, AND SHALL NOTIFY THE DESIGNER OF DISCREPANCIES OR INCONSISTENCIES.

THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT REPRESENT THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO: BRACING AND SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, CONSTRUCTION LOADS OF MATERIALS, ETC. THE CONTRACTOR, AT NO EXPENSE TO THE OWNER, SHALL RETAIN QUALIFIED PROFESSIONALS TO DETERMINE FIELD LAYOUT OF THE BUILDING ELEMENTS, AND THE ADEQUACY OF ALL PROPOSED BRACING AND SHORING.

OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE OBSERVATION OF SAFETY METHODS, BRACING OR SUPPORT.

PLAN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND STANDARD DETAILS.

CLARIFICATION SHALL BE REQUESTED FROM THE ENGINEER FOR ALL WORK INDICATED ON THE PLANS THAT IS NOT SPECIFICALLY DETAILED, AND IS NOT SIMILAR TO WORK THAT IS DETAILED.

SEE EXISTING AND / OR OTHER PLANS FOR SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS, SIZE AND LOCATION OF ALL NON-BEARING PARTITIONS, SIZE AND LOCATION OF ALL CURBS, DRAINS, DEPRESSED AREAS, SLOPES AND ELEVATION CHANGES, CHAMBERS, GROOVES, INSULATIONS, FINISHES, AND SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS.

SEE OTHER PLANS FOR ALL WATERPROOFING REQUIREMENTS. THE ENGINEER IS NOT RESPONSIBLE FOR WATERPROOFING DETAILS AND SPECIFICATIONS.

MECHANICAL, PLUMBING, AND ELECTRICAL REPAIRS SHALL BE UNDER SEPARATE PERMIT AND SHALL BE PERFORMED BY A LICENSED CONTRACTOR LICENSED IN THE APPROPRIATE FIELD.

MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOFS. LOADS SHALL NOT EXCEED DESIGN LOADING FOR SUPPORTING MEMBERS.

UNLESS APPROVED BY THE LOCAL C.B.D. OR BUILDING DEPARTMENT (PER CCP SECTION 301.2.5) PEX IS NOT AN APPROVED BUILDING MATERIAL.

**DEFERRED SUBMITTAL:**

ALL DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED AND APPROVED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBMITTED TO THE CITY OF ADELANTO BUILDING AND SAFETY DESIGN FOR APPROVAL. \*

SOLAR PHOTOVOLTAIC SYSTEMS  
TRUSS CALCULATIONS  
FIRE SPRINKLERS

REFERRED SUBMITTAL ITEMS SHALL BE REVIEWED AND APPROVED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBMITTED TO THE CITY OF ADELANTO BUILDING AND SAFETY DIVISION FOR APPROVAL."

SOLAR PHOTOVOLTAIC SYSTEMS  
TRUSS CALCULATIONS  
FIRE SPRINKLERS

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA GREEN BUILDING

**BATHROOM**

RADIANT HEATING SYSTEMS WITH SHOWER, SPAS AND SIMILAR FEATURES SHALL BE PROVIDED WITH AN EXHAUST FAN. MINIMUM CAPACITY OF 90 CFM. DUCTLESS FANS ARE UNACCEPTABLE.

EXHAUST FANS MUST BE LOCATED AT LEAST 6 INCHES FROM THE CEILING, 15 INCHES FROM THEIR CENTER TO ANY SIDE WALL OR OBSTRUCTION, CIRC #402.5.

FLOOR COVERING SHALL HAVE AN AVERAGE CONSUMPTION OF A MAXIMUM OF 1.5 GALLONS PER YEAR PER 100 SQ. FT. OF AREA.

RESIDENTIAL FAUCETS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 1.2 GPM PER MINUTE MEASURED AT 80 PSI. AND 0.1 GALLONS PER MINUTE AT 20 PSI.

SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE: 40.37 @ 80 PSI.

WATER-LOGGED SURFACES SHALL BE PROTECTED BY A MINIMUM OF 6 FEET ABOVE THE WALKWAY COVERAGE OF SHOWERS OR TUBS WITH SHOWERS SHALL BE 6 FEET ABOVE NONSLIPPER SURFACE EXTENDED TO A HEIGHT NOT LESS THAN 6 INCHES FROM THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1.024 SQ. FT. KITCHENS 11.50 SQ. FT. BATHROOMS 10.72 SQ. FT. ALL OTHER ROOMS SHALL BE 10.00 SQ. FT. CAPABLE OF ENCOMPASSING A 30-INCH DIAMETER CIRC. #406.8

**KITCHEN**

A KITCHEN SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FT. CIRC 120B.1

PROVIDE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE: 100 CFM. CIRC #100(B)

FAUCETS AT KITCHENS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 1.8 GPM PER MINUTE MEASURED AT 80 PSI. CIRC #403

FAUCETS AT KITCHENS SHALL BE PROVIDED WITH FOLLOWING HAZARDOUS LIQUIDS CIRC #308 & (CIRC 240.6)

(CIRC 240.6) WHEN THE ZONE IS WITHIN 60 INCHES (5'0") OF EITHER SIDE OF THE DOOR TO THE PLUMBING AREA, THERE SHALL BE TWO (2) RECEPTACLE OUTLETS. WHEN LOCATED WITHIN 30 INCHES OF THE FLOOR SURFACE IN SHOWERS, TUBS, SINKS, BATHTUBS, AND JACUZZI ROOMS, THERE SHALL BE ONE (1) RECEPTACLE OUTLET IN TUBS, SHOWERS, SAUNAS, OR STEAM ROOMS.

WHERE GLAZING AREA IS MORE THAN 30 SQ. FT. IN AREA, WITH THE BOTTOM EDGE LOCATED 18 INCHES ABOVE THE FLOOR AND TOP EDGE MORE THAN 36 INCHES ABOVE FLOOR.

**ELECTRICAL**

ALL RECEPTACLE OUTLETS IN BATHROOMS, ABOVE KITCHEN COUNTERTOP, CRAWL SPACES, GARAGES, ROOFTOPS, OUTDOORS ARE REQUIRED WITH 4-FEET OF WET RAB MATTER SHALL BE PROTECTED BY GROUND LIFT CONTACT INTERRUPTER (GFCI). CIRC #20.8

ALL RECEPTACLE OUTLETS ARE REQUIRED TO BE UL LISTED TAMPER RESISTANT. (CIRC 20.8)

COMBINATION TYPE AFCI CIRCUIT BREAKERS ARE REQUIRED FOR ALL 120 VOLT SINGLE PHASE 1500 AMP BRANCH CIRCUITS EXCEPT FOR BATHROOMS, KITCHENS, BEDROOMS, PORCHES, AND JANUARY ROOMS.

AT A MINIMUM, ONE DEDICATED 20 AMP CIRCUIT IS REQUIRED FOR A BATHROOM.

A GFI PROTECTED RECEPTACLE IS REQUIRED WITHIN 3 FEET OF THE EDGE OF EACH BASIN IN A BATHROOM. (CIRC 210.5(D))

RECEPTACLE OUTLETS ARE REQUIRED TO BE LOCATED WITHIN OR OVER A BATHTUB OR SHOWER SLAT. (CIRC 409.6 (C))

CLOSETS SHALL BE REQUIRED TO BE LOCATED BATHROOMS OR CLOTHES CLOSETS. (CIRC 240.2(D) AND 242.2(E))

CIRCUITS SERVING A GROUNDED CONTROL POINT (NEUTRAL WITH TWO UNGROUNDED LINE WIRE) SHALL BE REQUIRED TO BE LOCATED WITHIN 3 FEET OF THE UNDESIGNATED HANDLE TE. (CIRC 210.4(B)) GROUP NON-CABLE CIRCUITS IN PANEL. (CIRC 210.4(D))

THE KITCHEN COUNTERTOP RECEPTABLE MUST HAVE A MIN. OF 2 DEDICATED 20 AMP CIRCUITS. (CIRC 210.5(B))

THE RECEPTABLES IN THE DINING AREA, PANTRY, OR BREAKFAST NOOK MUST BE ON SEPARATE CIRCUITS. (CIRC 210.5(C))

THE KITCHEN COUNTERTOP SHALL BE LOCATED WITHIN 3 FEET OF THE KITCHEN COUNTERTOP SHALL BE 12 INCHES OR WIDER MUST HAVE A RECEPTACLE OUTLET. (CIRC 210.5(C))

KITCHEN COUNTERTOP TOPS MUST HAVE RECEPTACLE OUTLETS SO NO POINT ALONG THE COUNTERTOP SURFS IS MORE THAN 24 INCHES FROM A RECEPTACLE. (CIRC 210.5(C))

RECEPTABLES IN PENINSULAR COUNTERTOPS SHALL HAVE AT LEAST ONE RECEPTACLE. (CIRC 210.5(C)) AND (2)

RECEPTABLES IN ISLAND COUNTERTOPS SHALL BE READILY ACCESSIBLE AND LOCATED NO MORE THAN 20 INCHES OR ABOVE, OR MORE THAN 12 INCHES BELOW THE COUNTERTOP SURFACE. (CIRC 210.5(C)(6))

RECEPTABLES IN GENERAL PURPOSE COUNTERTOPS SHALL BE LOCATED SO THAT NO POINT ON THE UPPER OR LOWER FLAT SURFACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET. (CIRC 210.5(C))

RECEPTABLES ON FREESTANDING COUNTERS MUST HAVE AT LEAST ONE RECEPTACLE OUTLET. (CIRC 210.5(C))

LAUNDRY ROOMS MUST HAVE AT LEAST ONE DEDICATED 20 AMP RECEPTACLE CIRCUIT. (CIRC 210.11 (C))

**SMOKE ALARMS** SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS (RS14.3):

1. IN EVERY ROOM.

OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE ENTRANCE TO EACH SLEEPING AREA.

ON EACH OCCUPANCY, INCLUDING BASEMENTS AND HABITABLE ATTICS.

SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP AND TEST BUTTONS. (RS14.3) AND (CIRC 210.5(C))

**CARBON MONOXIDE ALARMS** SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS (RS14.3):

OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S).

ON EACH OCCUPANCY, INCLUDING BASEMENTS AND HABITABLE ATTICS.

**EMERGENCY EGRESS WINDOWS** SHALL BE MIN. 5.7 SQ. FT. MIN. NET WIDTH 20" AND MIN. NET HEIGHT 24". BY DESIGN, THE CLEAR OPENING NOT GREATER THAN 44" ABOVE FINISHED FLOOR LEVEL SHALL BE LOCATED AT LEAST 20" ABOVE FINISHED FLOOR LEVEL, BE PROTECTED BY GUARDS. (RS12.2.1)

The map displays the Project Site area in Hesperia, CA. The site is located on Olive St, near the intersection with Santa Fe Ave E. Surrounding streets include Main St, Walnut St, Olive St, Santa Fe Ave E, and Hesperia Rd. Key locations marked on the map include Pizza Hut, Little Caesars Pizza, Extra Space Storage, MOM's Test Only Smog, Apex Rentals, Preferred Tire, Loser Mobile Estates, San Remo Apartments, and Hesperia Christian Church. A white box labeled 'PROJECT SITE' is located on Olive St, near the intersection with Santa Fe Ave E.

|                                                                                                                                |                                                                                          |
|--------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| <p><b>A. CLIENT:</b></p>                                                                                                       | <p>PHAM DEVELOPMENT<br/>PROPOSED 31 2-STORY CONDOMINIUM<br/>UNIT COMPLEX</p>             |
| <p><b>B. DESIGNER</b></p> <ul style="list-style-type: none"> <li>• NAME:</li> <li>• CONTACT NO:</li> <li>• EMAIL:</li> </ul>   | <p><b>EVERETT SMITH DESIGNS</b><br/>951.223.2187<br/>EVERETT@EVERETTSMITHDESIGNS.COM</p> |
| <p><b>C. STRUCTURAL</b></p> <ul style="list-style-type: none"> <li>• NAME:</li> <li>• CONTACT NO:</li> <li>• EMAIL:</li> </ul> | <p><b>RAHMAN ENGINEERING</b><br/>213.400.8078<br/>MOKSUD.RAHMAN@GMAIL.COM</p>            |
| <p><b>D. MECH &amp; PLUMBING</b></p> <ul style="list-style-type: none"> <li>• NAME:</li> <li>• CONTACT NO:</li> </ul>          | <p><b>KK ENGG. LL -</b><br/>3877 DWIGGINS STREET,<br/>LOS ANGELES, CA 90063</p>          |
| <p><b>E. ELECTRICAL</b></p> <ul style="list-style-type: none"> <li>• NAME:</li> <li>• EMAIL:</li> </ul>                        | <p><b>JAMSHED ALAM HYDER</b><br/>JAMSHEDHYDER@YAHOO.COM</p>                              |

**LEGAL DESCRIPTION:** TOWN OF HESPERIA S 1/2 S 1/2 BLK 94 EX WATER RTS AND EX 1/2 INT MIN RTS WITHOUT S E 2.27 AC MIL  
**ZONING:** RESIDENTIAL MEDIUM DENSITY (MR) ST.1.FREWAY CORRIDOR SPECIFIC PLAN (MSPC/SP) MEDIUM DENSITY  
**OCCUPANCY:** GROUP R  
**CONSTRUCTION:** TYPE V-B  
**PROJECT DESCRIPTION:** PROPOSED 31, 2-STORY CONDOMINIUM UNIT WITH TUCK UNDER GARAGES, OPEN TERRACE, PRIVATE PARKING, TRASH ENCLOSURES, SITE LIGHTING, PERIMETER FENCE & GATE, AND OUTDOOR AMENITIES  
**FIRE SPRINKLERS:** REQUIRED

**A. SCOPE OF WORK**

- PROPOSED 31 2-STOREY CONDOMINIUM UNIT COMPLEX WITH GARAGES

|                             |                                                  |
|-----------------------------|--------------------------------------------------|
| LOT SIZE:                   | 95,737.5 SF. (2.2 AC)                            |
| MAXIMUM DENSITY:            | 15 UNITS/ ACRE<br>2.20 ACRES x 15 = 33 UNITS MAX |
| MAXIMUM HEIGHT:             | 35'                                              |
| CONDOMINIUM UNITS PROPOSED: | 31 UNITS                                         |
| LOT COVERAGE:               | 34,688 SF (36.2%) (60% ALLOWED)                  |
| NET LOT SIZE:               | 61,312 SF (100%)                                 |
| HARDSCAPE AREA:             | 34,247 SF (55.9%)                                |
| LANDSCAPE AREA:             | 27,065 SF (44.1%)                                |

|       |                                       |
|-------|---------------------------------------|
| A00   | COVER SHEET                           |
| A01   | SITE PLAN                             |
| A01.1 | SITE DETAILS                          |
| A01.2 | ACCESSIBILITY DETAILS                 |
| B1.0  | BUILDING 1 FIRST FLOOR PLAN           |
| B1.1  | BUILDING 1 SECOND FLOOR PLAN          |
| B1.2  | BUILDING 1 ELEVATION                  |
| B1.3  | BUILDING 1 ELEVATION                  |
| B1.4  | BUILDING 1 SECTION                    |
| B1.5  | BUILDING 1 ROOF PLAN                  |
| B2.0  | BUILDING 2 & 3 FIRST FLOOR PLAN       |
| B2.1  | BUILDING 2 & 3 SECOND FLOOR PLAN      |
| B2.2  | BUILDING 2 & 3 ELEVATION              |
| B2.3  | BUILDING 2 & 3 ELEVATION              |
| B2.4  | BUILDING 2 & 3 SECTION                |
| B2.5  | BUILDING 2 & 3 ROOF PLAN              |
| B4.0  | BUILDING 4 FIRST FLOOR PLAN           |
| B4.1  | BUILDING 4 SECOND FLOOR PLAN          |
| B4.2  | BUILDING 4 ELEVATIONS                 |
| B4.3  | BUILDING 4 ELEVATION                  |
| B4.4  | BUILDING 4 SECTIONS                   |
| B4.5  | BUILDING 4 ROOF PLAN                  |
| B5.0  | BUILDING - 5.5.6.7 AND 8 FIRST FLOOR  |
| B5.1  | BUILDING - 5.5.6.7 AND 8 SECOND FLOOR |
| B5.2  | BUILDING - 5.5.6.7 AND 8 ELEVATION    |
| B5.3  | BUILDING - 5.5.6.7 AND 8 SECTION      |
| B5.4  | BUILDING - 5.5.6.7 AND 8 SECTIONS     |
| B5.5  | BUILDING - 5.5.6.7 AND 8 ROOF PLAN    |

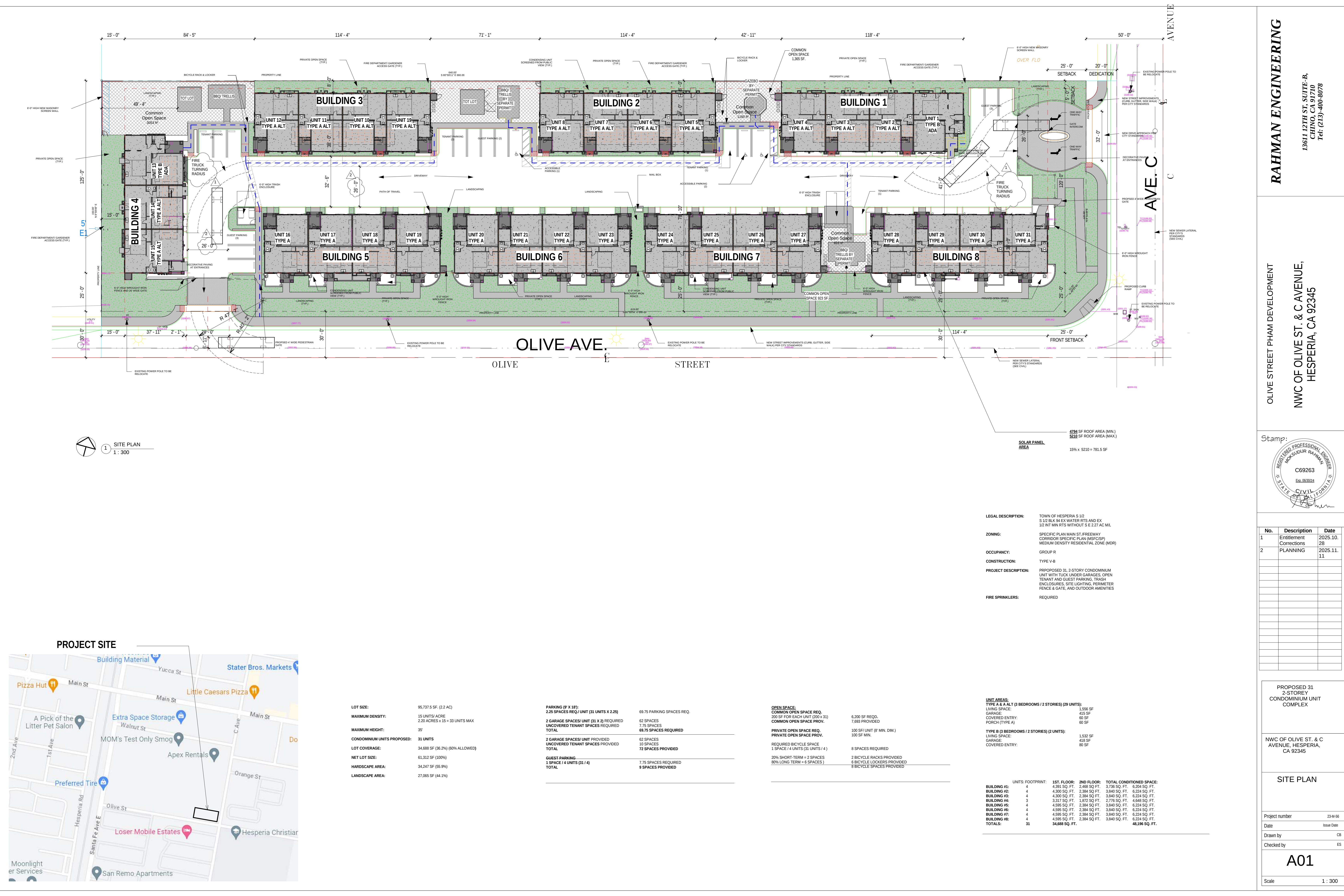
|       |                                         |
|-------|-----------------------------------------|
| E-0.1 | ELECTRICAL GENERAL NOTES & SHEETS       |
| E-0.2 | ELECTRICAL SYMBOL LIST AND ABREVIATIONS |
| E-0.3 | ELECTRICAL DETAILS                      |
| E-0.4 | ELECTRICAL WIRE LINE DIAGRAM            |
| E-0.5 | PANEL SCHEDULE                          |
| E-2.1 | FIRST FLOOR POWER PLAN                  |
| E-2.2 | SECOND FLOOR POWER PLAN                 |
| E-3.1 | FIRST FLOOR LIGHTING PLAN               |
| E-3.2 | SECOND FLOOR LIGHTING PLAN              |
| M-1.0 | PLUMBING LEGENDS, GENERAL NOTES         |
| M-2.0 | GROUND FLOOR HVAC PLAN                  |
| M-3.0 | SECOND FLOOR HVAC PLAN                  |
| M-4.0 | T-24 FORMS                              |
| M-4.1 | T-24 FORMS                              |
| M-4.2 | UP-IR FORMS                             |
| P-1.0 | PLUMBING GENERAL NOTES                  |
| P-2.0 | SITE PLAN                               |
| P-3.0 | GROUND FLOOR PLUMBING PLAN              |
| P-4.0 | SECOND FLOOR PLUMBING PLAN              |
| P-5.0 | CAS RISE PLUMBING                       |
| D-1   | STRUCTURAL DETAILS                      |
| D-2   | STRUCTURAL DETAILS                      |
| D-3   | STRUCTURAL DETAILS                      |
| D-4   | STRUCTURAL DETAILS                      |

OLIVE STREET PHAM DEVELOPMENT  
NWC OF OLIVE ST. & C AVENUE,  
HESPERIA, CA 92345

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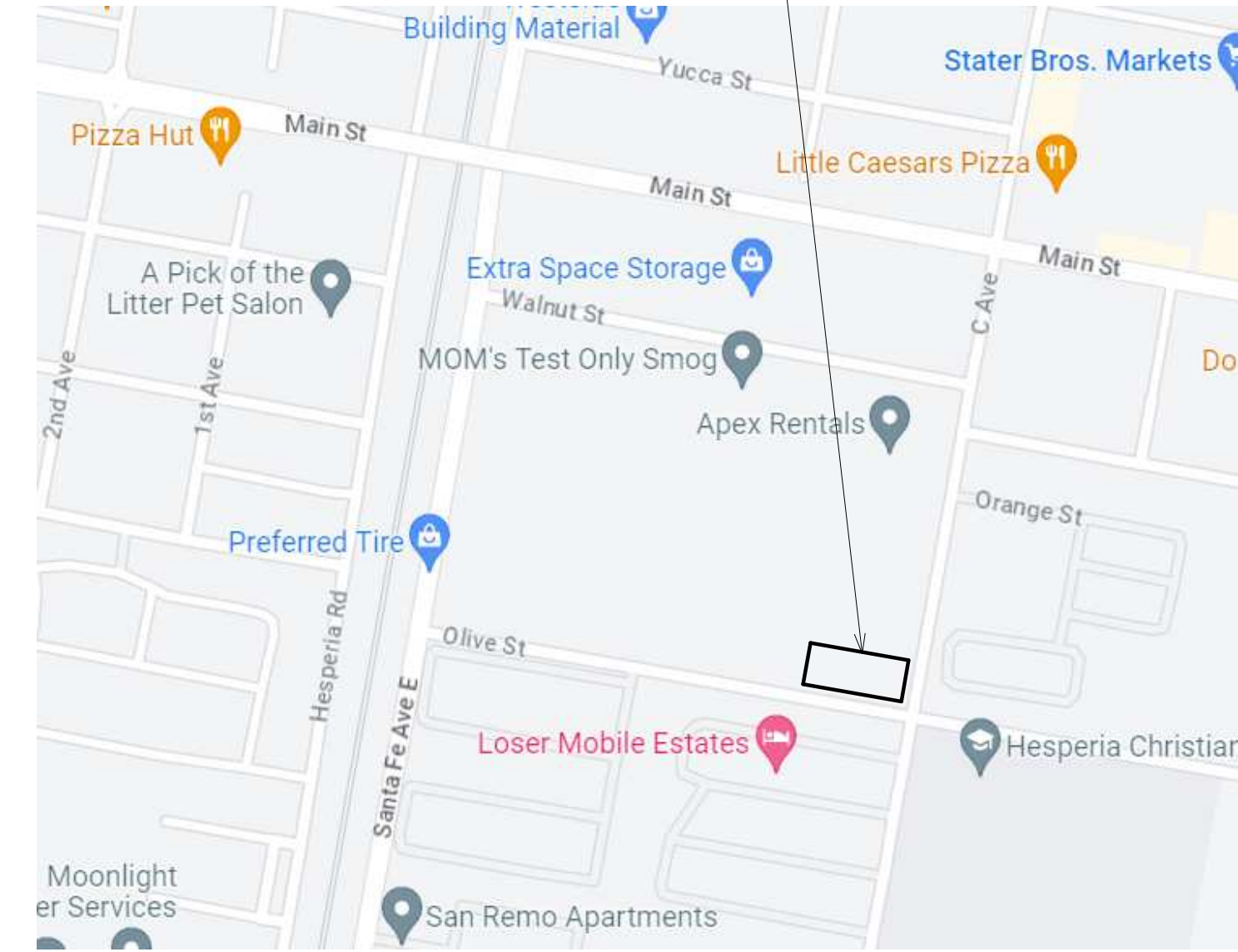
NWC OF OLIVE ST. & C  
AVENUE, HESPERIA,  
CA 92345

|                |            |
|----------------|------------|
| Project number | 23-M-56    |
| Date           | Issue Date |
| Drawn by       | CB         |
| Checked by     | ES         |
| A0.00          |            |
| Scale          |            |



1 SITE PLAN  
1 : 300

PROJECT SITE



LOT SIZE: 95,737.5 SF (2.2 AC)  
MAXIMUM DENSITY: 15 UNITS/ACRE  
2.20 ACRES x 15 = 33 UNITS MAX  
MAXIMUM HEIGHT: 35'  
CONDOMINIUM UNITS PROPOSED: 31 UNITS  
LOT COVERAGE: 34,688 SF (36.2%) (60% ALLOWED)  
NET LOT SIZE: 61,312 SF (100%)  
HARDSCAPE AREA: 34,247 SF (55.9%)  
LANDSCAPE AREA: 27,065 SF (44.1%)

PARKING (8' X 18'):  
2.25 SPACES REQ/ UNIT (31 UNITS X 2.25)  
2 GARAGE SPACES/ UNIT (31 X 2) REQUIRED  
UNCOVERED TENANT SPACES REQUIRED  
TOTAL 69.75 PARKING SPACES REQ.  
62 SPACES  
7.75 SPACES  
69.75 SPACES REQUIRED  
2 GARAGE SPACES/ UNIT PROVIDED  
UNCOVERED TENANT SPACES PROVIDED  
TOTAL 62 SPACES  
10 SPACES  
72 SPACES PROVIDED  
GUEST PARKING  
1 SPACE / 4 UNITS (31 / 4)  
TOTAL 7.75 SPACES REQUIRED  
9 SPACES PROVIDED

OPEN SPACE:  
COMMON OPEN SPACE REQ.  
200 SF FOR EACH UNIT (200 X 31)  
COMMON OPEN SPACE PROV. 6,200 SF REQ'D.  
7,693 PROVIDED  
PRIVATE OPEN SPACE REQ.  
1 SPACE / 4 UNITS (31 UNITS / 4)  
100 SF MIN. 100 SF MIN.  
REQUIRED BICYCLE SPACE  
1 SPACE / 4 UNITS (31 UNITS / 4)  
20% SHORT-TERM = 2 SPACES  
80% LONG TERM = 6 SPACES ) 8 SPACES REQUIRED  
2 BICYCLE RACKS PROVIDED  
6 BICYCLE LOCKERS PROVIDED  
8 BICYCLE SPACES PROVIDED

LEGAL DESCRIPTION: TOWN OF HESPERIA S 1/2  
S 1/2 BLK 34 EX WATER RTS AND EX  
1/2 INT MIN RTS WITHOUT S E 2.27 AC MIL  
ZONING: SPECIFIC PLAN MAIN ST/FREEWAY  
CORRIDOR SPECIFIC PLAN (MFC/ISP)  
MEDIUM DENSITY RESIDENTIAL ZONE (MDR)  
OCCUPANCY: GROUP R  
CONSTRUCTION: TYPE V-B  
PROJECT DESCRIPTION: PROPOSED 31, 2-STORY CONDOMINIUM  
UNIT WITH TUCK UNDER GARAGES, OPEN  
TENANT AND GUEST PARKING, TRASH  
ENCLOSURES, SITE LIGHTING, PERIMETER  
FENCE & GATE, AND OUTDOOR AMENITIES  
FIRE SPRINKLERS: REQUIRED

UNIT AREAS:  
TYPE A & A ALT (3 BEDROOMS / 2 STORIES) (29 UNITS):  
LIVING SPACE: 1,556 SF  
GARAGE: 418 SF  
COVERED ENTRY: 60 SF  
PORCH (TYPE A) 60 SF  
TYPE B (3 BEDROOMS / 2 STORIES) (2 UNITS):  
LIVING SPACE: 1,530 SF  
GARAGE: 418 SF  
COVERED ENTRY: 80 SF  
UNITS: FOOTPRINT: 1ST FLOOR: 2ND FLOOR: TOTAL CONDITIONED SPACE:  
BUILDING #1: 4 4,380 SQ. FT. 2,468 SQ. FT. 3,796 SQ. FT. 6,204 SQ. FT.  
BUILDING #2: 4 4,300 SQ. FT. 2,384 SQ. FT. 3,840 SQ. FT. 6,224 SQ. FT.  
BUILDING #3: 4 4,300 SQ. FT. 2,384 SQ. FT. 3,840 SQ. FT. 6,224 SQ. FT.  
BUILDING #4: 3 3,317 SQ. FT. 1,872 SQ. FT. 2,776 SQ. FT. 4,648 SQ. FT.  
BUILDING #5: 4 4,595 SQ. FT. 2,384 SQ. FT. 3,840 SQ. FT. 6,224 SQ. FT.  
BUILDING #6: 4 4,595 SQ. FT. 2,384 SQ. FT. 3,840 SQ. FT. 6,224 SQ. FT.  
BUILDING #7: 4 4,595 SQ. FT. 2,384 SQ. FT. 3,840 SQ. FT. 6,224 SQ. FT.  
BUILDING #8: 4 4,595 SQ. FT. 2,384 SQ. FT. 3,840 SQ. FT. 6,224 SQ. FT.  
TOTALS: 31 34,688 SQ. FT. 48,196 SQ. FT.

RAHMAN ENGINEERING

13611 12TH ST, SUITE-B,  
CHINO, CA 91710  
Tel: (213) 400-8078

OLIVE STREET PHAM DEVELOPMENT

NWC OF OLIVE ST. & C AVENUE,  
HESPERIA, CA 92345

Stamp:

REGISTERED PROFESSIONAL ENGINEER  
NOKSUDUR RAHMAN  
C69263  
Exp. 06/30/24  
CIVIL  
STATE OF CALIFORNIA

11/17/2025 4:02:48 PM

PROPOSED 31  
2-STORY  
CONDOMINIUM UNIT  
COMPLEX

NWC OF OLIVE ST. & C  
AVENUE, HESPERIA,  
CA 92345

SITE PLAN

Project number 23-18-56  
Date Issue Date  
Drawn by CB  
Checked by ES  
A01  
Scale 1 : 300

