SCOPE OF WORK

PROPOSED 31 2-STOREY CONDOMINIUM UNIT COMPLEX WITH GARAGAES

PROJECT DIRECTORY

PROJECT INFORMATION

LEGAL DESCRIPTION: TOWN OF HESPERIA S 1/2 S 1/2 BLK 94 EX WATER RTS AND EX 1/2 INT MIN RTS

ZONING: SPECIFIC PLAN MAIN ST./FREEWAY CORRIDOR SPECIFIC PLAN (MSFC/SP) MEDIUM DENSITY

PROJECT DESCRIPTION: PRPOPOSED 31, 2-STORY CONDOMINIUM UNIT WITH TUCK UNDER GARAGES, OPEN TENANT AND GUEST PARKING, TRASH ENCLOSURES, SITE LIGHTING, PERIMETER FENCE & GATE, AND

PHAM DEVELOPMENT

EVERETT SMITH DESIGNS

RAHMAN ENGINEERING

3877 DWIGGINS STREET LOS ANGELES, CA 90063

JAMSHED ALAM HYDER

JAMSHEDHYDER@YAHOO.COM

MOKSUD.RAHMAN@GMAIL.COM

UNIT COMPLEX

951.323.2187

213.400.8078

KK ENGG. LL

PROPOSED 31 2-STOREY CONDOMINIUM

EVERETT@EVERETTSMITHDESIGNS.COM

A. CLIENT:

B. **DESIGNER**

EMAIL:

C. STRUCTURAL

CONTACT NO:

CONTACT NO:

D. MECH & PLUMBING

CONTACT NO:

E. ELECTRICAL

RESIDENTIAL ZONE (MDR) **OCCUPANCY:** GROUP R **CONSTRUCTION:** TYPE V-B

OUTDOOR AMENITIES FIRE SPRINKLERS: REQUIRE

LANDSCAPE AREA

NAME: EMAIL:

SQUARE FOOTAGE & LOT COVERAGE

LOT SIZE: 95,737.5 SF. (2.2 AC) 15 UNITS/ ACRE MAXIMUM DENSITY: 2.20 ACRES x 15 = 33 UNITS MAX CONDOMINIUM UNITS PROPOSED: LOT COVERAGE 34,688 SF (36.2%) (60% ALLOWED) 61,312 SF (100%) HARDSCAPE AREA: 34,247 SF (55.9%)

27,065 SF (44.1%) No. Description Date

ELECTRICAL, MECHANICAL, PLUMBING SHEETS

E-0.5

E-2.1

E-2.2

E-3.1

E-3.2

M2.0

P2.0

P5.0

ELECTRICAL DETAILS

FIRST FLOOR POWER PLAN

SECOND FLOOR POWER PLAN

FIRST FLOOR LIGHTING PLAN

GROUND FLOOR HVAC PLAN

SECOND FLOOR HVAC PLAN

PLUMBING GENERAL NOTES

GROUND FLOOR PLUMBING PLAN

SECOND FLOOR PLUMBING PLAN

GAS RISER DIAGRAMS

STRUCTURAL DETAILS

STRUCTURAL DETAILS

STRUCTURAL DETAILS

STRUCTURAL DETAILS

SECOND FLOOR LIGHTING PLAN

HVAC LEGENDS, GENERAL NOTES

PANEL SCHEDULE

T-24 FORMS

T-24 FROMS

SITE PLAN

MF-1R FORMS

ELECTRICAL GENERAL NOTES & SHEETS

ELECTRICAL SYMBOL LIST AND ABBREV.

ELECTRICAL SINGLE LINE DIAGRAM

SHEET INDEX A0.00 COVER SHEET

A01 SITE PLAN A01.1 SITE DETAILS A01.2 ACCESSIBILITY DETAILS B1.0 BUILDING 1 FIRST FLOOR PLAN B1.1 BUILDING 1 SECOND FLOOR PLAN B1.2 BUILDING 1 ELEVATION B1.3 BUILDING 1 ELEVATION B1.4 BUILDING 1 SECTION B1.5 BUILDING 1 ROOF PLAN B2.0 BUILDING 2 & 3 FIRST FLOOR PLAN B2.1 BUILDING 2 & 3 SECOND FLOOR PLAN B2.2 BUILDING 2 & 3 ELEVATION

B2.3 BUILDING 2 & 3 ELEVATION B2.4 BUILDING 2 & 3 SECTION B2.5 BUILDING 2 & 3 ROOF PLAN B4.0 BUILDING 4 FIRST FLOOR PLAN B4.1 BUILDING 4 SECOND FLOOR PLAN

B4.2 BUILDING 4 ELEVATIONS B4.3 BUILDING 4 ELEVATION B4.4 BUILDING 4 SECTIONS B4.5 BUILDING 4 ROOF PLAN

B5.0 BUILDING - B,5,6,7 AND 8 FIRST FLOOR PLAN B5.1 BUILDING - 5,6,7 AND 8 SECOND FLOOR PLAN

B5.3 BUILDING - 5,6,7 AND 8 ELEVATIONS B5.4 BUILDING - 5,6,7 AND 8 SECTIONS

B5.2 BUILDING - 5,6,7 AND 8 ELEVATIONS B5.5 BUILDING - 5,6,7 AND 8 ROOF PLAN

RAHMAN ENGINEERING

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PROPOSED 31 2-STOREY CONDOMINIUM UNIT COMPLEX

NWC OF OLIVE ST. & C AVENUE, HESPERIA, CA 92345

COVER SHEET

Project number Issue Date Checked by

 AT WORK PHONE #: OR CELL PHONE #:

SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT

PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND. APPROPRIATE BMPS FOR CONSTRUCTION RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT

CONSTRUCTION SITE UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OR THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED

AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OF

B. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FO PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARI CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.

CHEMICAL SPILLS: WASTES FROM PAINTS. STAINS. SEALANTS. GLUES. LIMES PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS: FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER: CONCRETE, DETERGENT OR FLOATABLE WASTES: WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER CHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON SITE. PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER

RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND 0. DEWATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD. . GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE

FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES. 12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION. 3. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK

AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS. 14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS. SUBCONTRACTORS. MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED. 5. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL

TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT. 16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%. 17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SIT USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY

CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS,

DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR 18. APPROPRIATE BMPS FOR CONSTRUCTION RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND

PROVIDED WITH AN EXHAUST FAN WITH A MINIMUM CAPACITY OF 50 CFM. DUCTLESS 2. THE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT FANS ARE UNACCEPTABLE.

REPRESENT THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. CPC 402.5 MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING AND SHORING FOR LOADS c. WATER CLOSET SHALL HAVE AN AVERAGE CONSUMPTION OF A MAXIMUM OF 1.28 DUE TO CONSTRUCTION EQUIPMENT. CONSTRUCTION LOADS OF MATERIALS, ETC. THI GALLONS OF WATER PER FLUSH, CPC 403.2.1 d. RESIDENTIAL FAUCETS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE OF 1.5 PROFESSIONALS TO DETERMINE FIELD LAYOUT OF THE BUILDING ELEMENTS, AND THE GALLONS PER MINUTE MEASURED AT 60 PSI. AND 0.8 GALLONS PER MINUTES AT 20

ADEQUACY OF ALL PROPOSED BRACING AND SHORING. 3. OBSERVATION VISITS TO THE SITE BY THE ENGINEER SHALL NOT INCLUDE OBSERVATION OF SAFETY METHODS, BRACING OR SUPPORT. 4. PLAN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.

5. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND STANDARD DETAILS. CLARIFICATION SHALL BE REQUESTED FROM THE ENGINEER FOR ALL WORK INDICATED ON THE PLANS THAT IS NOT SPECIFICALLY DETAILED, AND IS NOT SIMILAR TO WORK

7. SEE EXISTING AND / OR OTHER PLANS FOR SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS, SIZE AND LOCATION OF ALL NON-BEARING PARTITIONS, SIZE AND LOCATION OF ALL CURBS, DRAINS, DEPRESSED AREAS, SLOPES AND ELEVATION

CHANGES, CHAMFERS, GROOVES, INSERTS, ALL FINISHES, AND SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS. 8. SEE OTHER PLANS FOR ALL WATERPROOFING REQUIREMENTS. THE ENGINEER IS NOT RESPONSIBLE FOR WATERPROCEING DETAILS AND SPECIFICATIONS

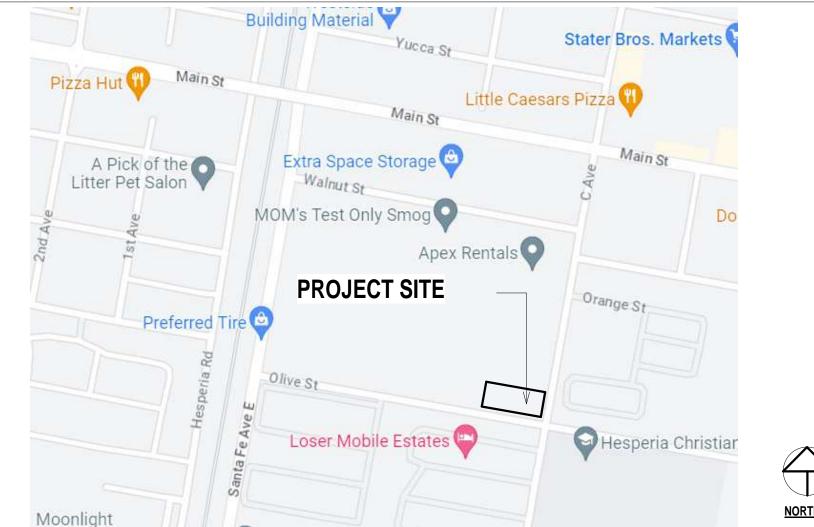
9. MECHANICAL, PLUMBING, AND ELECTRICAL REPAIRS SHALL BE UNDER SEPARATE PERMIT AND SHALL BE PERFORMED BY A LICENSED CONTRACTOR LICENSED IN THE 10. MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOFS. LOADS

11. UNLESS APPROVED BY THE LOCAL C.B.O. OR BUILDING DEPARTMENT (PER CPC SECTION 301.2.5.) PEX IS NOT AN APPROVED BUILDING MATERIAL.

"DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED AND APPROVED BY THE REGISTERED DESIGN PROFESSIONAL AND SUBMITTED TO THE CITY OF ADELANTO BUILDING AND SAFETY

b. WHEN LOCATED WITHIN 60-INCHES OF THE FLOOR SURFACE IN TUBS, SHOWERS

1. SOLAR PHOTOVOLTAIC SYSTEMS 2. TRUSS CALCULATIONS FIRE SPRINKLERS



San Remo Apartments

VICINITY MAP

er Services

6. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS a. OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). b. ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS. EMERGENCY EGRESS WINDOWS SHALL BE MIN. 5.7 SQ. FT, MIN. NET WIDTH 20" AND MIN. NET HEIGHT 24", BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" ABOVE

SHALL BE PROTECTED BY GUARDS (R312.2.1)

SHOWER HEADS SHALL NOT EXCEED A WATER SUPPLY FLOW RATE CPC 403.7 OF 2.0

NONABSORBENT SURFACE EXTENDED TO A HEIGHT NOT LESS THAN 6 FEET ABOVE

. WALL COVERING OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF SMOOTH,

1. THE NET AREA OF THE SHOWER ENCLOSURE SHALL BE 1.024 SQ. INCHES (7.1 SQ.

a. KITCHEN SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FT. CBC 1208.1

c. FAUCETS AT KITCHENS SHALL NOT EXCEED A WATER SUPPLY FLOW RATED OF 1.8

a. WHERE THE GLAZING IS WITHIN 24 INCHES (610 MM) OF EITHER SIDE OF THE DOOR

c. WHERE GLAZING AREA IS MORE THAN 9 SQ. FT. IN AREA, WITH THE BOTTOM EDGE

a. ALL RECEPTACLE OUTLETS IN BATHROOMS, ABOVE KITCHEN COUNTERTOP, CRAWL

SPACES, GARAGE, ROOFTOPS, OUTDOOR OUTLETS, WITHIN 6-FEET OF WET BAR

b. ALL RECEPTACLE OUTLETS ARE REQUIRED TO BE LISTED TAMPER RESISTANT. (CEC

c. COMBINATION TYPE AFCI CIRCUIT BREAKERS ARE REQUIRED FOR ALL 120 VOLT

d. AT A MINIMUM, ONE DEDICATED 20 AMP CIRCUIT IS REQUIRED FOR A BATHROOM.

(CEC 210.11(C)(2))
e. A GFCI PROTECTED RECEPTACLE IS REQUIRED WITHIN 3 FEET OF THE EDGE OF

RECEPTACLE OUTLETS ARE NOT ALLOWED WITHIN OR OVER A BATHTUB OR

g. SUBPANELS ARE NOT ALLOWED TO BE LOCATED IN BATHROOMS OR CLOTHES

h. CIRCUITS SHARING A GROUNDED CONDUCTOR (NEUTRAL) WITH TWO UNGROUNDED

HANDLE TIE. (CEC 210.4(B)) GROUP NON-CABLE CIRCUITS IN PANEL (CEC 210.4(D))

THE KITCHEN COUNTER TOP RECEPTACLES MUST HAVE A MIN. OF 2 DEDICATED 20

THE RECEPTACLES IN THE DINING AREA, PANTRY, OR BREAKFAST NOOK MUST BE

k. KITCHEN COUNTER TOPS 12 INCHES OR WIDER MUST HAVE A RECEPTACLE OUTLET.

THE COUNTER WALLS IS MORE THAN 24 INCHES FROM A RECEPTACLE. (CEC

m. ISLAND AND PENINSULAR COUNTER TOPS MUST HAVE AT LEAST ONE RECEPTACLE.

LOCATED NO MORE THAN 20 INCHES ON OR ABOVE, OR MORE THAN 12 INCHES

POINT ON ANY WALL OR FIXED GLASS IS OVER 6 FEET FROM A RECEPTACLE

q. LAUNDRY ROOMS MUST HAVE AT LEAST ONE DEDICATED 20 AMP RECEPTACLE

OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE

c. ON EACH ADDITIONAL STORY, INCLUDING BASEMENTS AND HABITABLE ATTICS.

INTERCONNECTED UNLESS EXEMPTED IN ACCORDANCE WITH SECTIONS R314.4 &

FINISHED FLOOR. (R310) WINDOWS ABOVE FIRST LEVEL AND HAVING SILL HEIGHT < 24"

SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP AND

5. **SMOKE ALARMS** SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS (R314.3):

p. HALLWAY 10 FEET OR MORE MUST HAVE AT LEAST ONE RECEPTACLE OUTLET. (CEC

D. THE SPACING FOR GENERAL RECEPTACLE OUTLETS MUST BE LOCATED SO THAT NO

n. KITCHEN COUNTERTOP RECEPTACLES SHALL BE READILY ACCESSIBLE, AND

KITCHEN COUNTER TOPS MUST HAVE RECEPTACLE OUTLETS SO NO POINT ALONG

(HOT) CONDUCTORS MUST USE A TWO POLE CIRCUIT BRÉAKER OR AN IDENTIFIED

GARAGES, OUTDOORS, AND LAUNDRY ROOMS. (CEC 210.12(B))

SUPPLIED BY DEDICATED 20 AMP CIRCUITS. (CEC 210.52(B))

BELOW THE COUNTERTOP SURFACE. (CEC 210.52(C)(5))

EACH BASIN IN A BATHROOM. (CEC 210.52(D))

CLOSETS. (CEC 240.24(D) AND 240.25(E))

AMP CIRCUITS, (CEC 210,52(B))

(CEC 210.52(C)(1) AND (2))

CIRCUIT. (CEC 210.11 (C) (2))

a. IN EACH SLEEPING ROOM.

SINK/LAUNDRY SINK TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER

SINGLE PHASE 15/20 AMP BRANCH CIRCUITS. EXCEPT FOR BATHROOMS, KITCHENS,

LESS THAN 18-INCHES ABOVE THE FLOOR AND TOP EDGE MORE THAN 36-INCHES

SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING HAZARDOUS LOCATIONS

PROVIDE LOCAL EXHAUST SYSTEM VENTED TO OUTDOORS WITH RATE = 100 CFM.

FEET) OR MORE IN CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF

GALLONS OF WATER PER MINUTE AT 80 PSI, CPC 408.2

ENCOMPASSING A 30-INCH DIAMETER CIRCLE. CPC 408.6

IN THE PLANE OF THE DOOR IN A CLOSED POSITION.

SURFACE IN TUBS, SHOWERS, SAUNAS, OR STEAM ROOMS.

THE FLOOR CRC R307.2, CBC 1210.2.3

CEC 150(o), ASHRAE STD, 62.2.

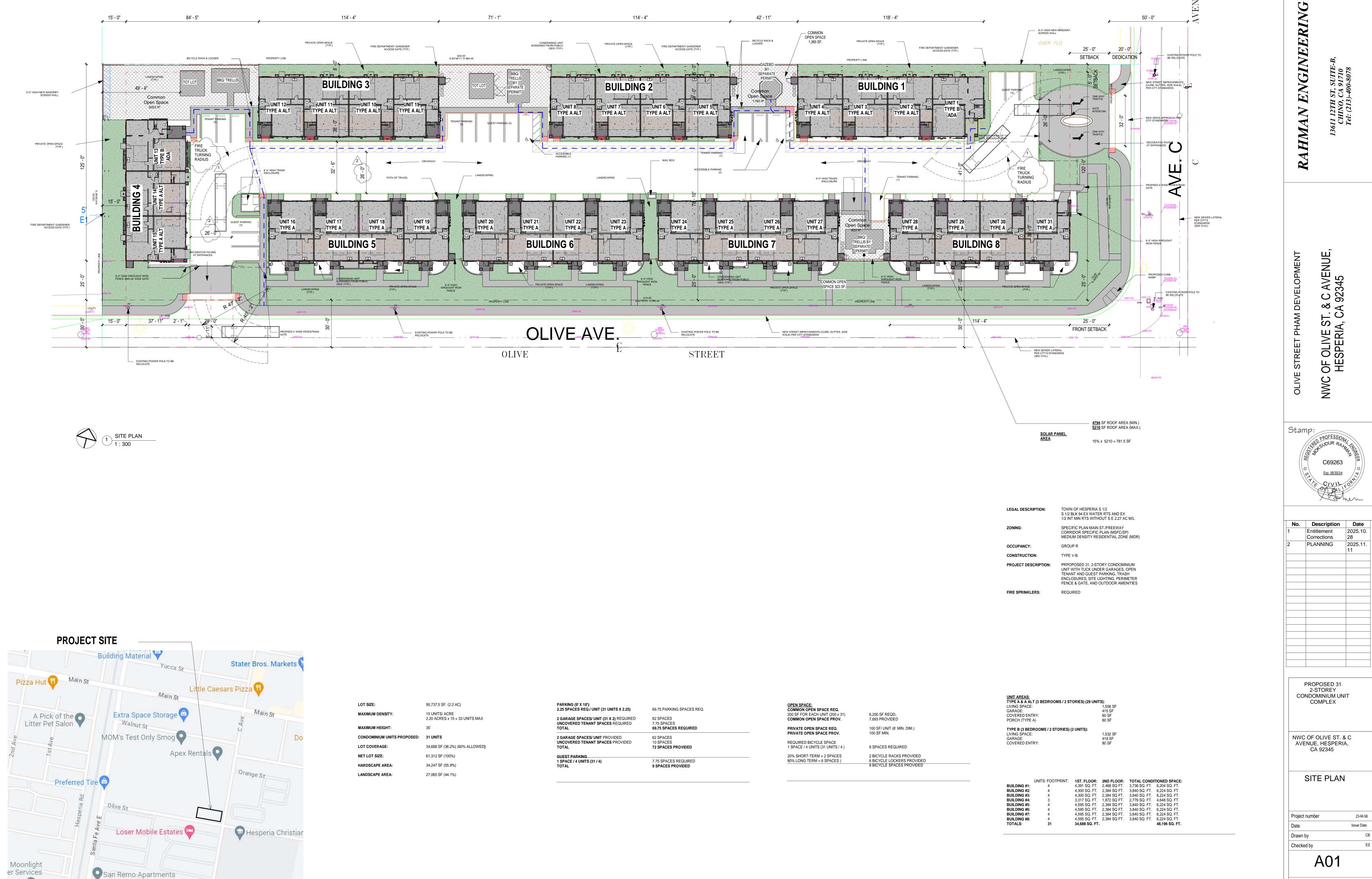
406.12 AND 210.52)

2022 CALIFORNIA RESIDENTIAL CODE (CRC)

 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA ELECTRICAL CODE (CEC)

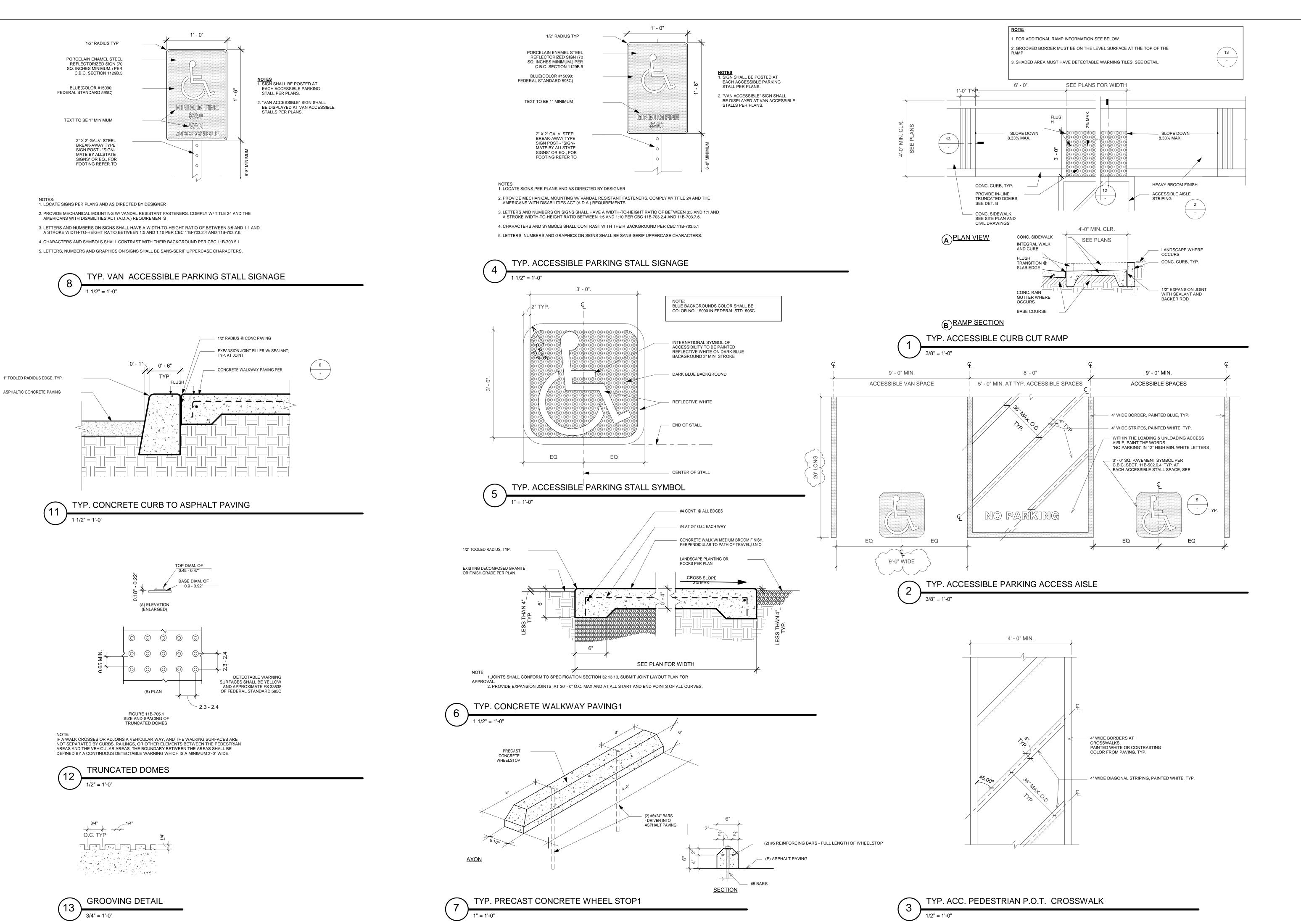
 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA GREEN BUILDING

APPLICABLE STANDARDS



1:300

Scale



ENGINEERING
HST, SUITE-B,

13611 12TH ST, SUITE-CHINO, CA 91710

FOLIVE ST. & C AVENUE, ESPERIA, CA 92345

DEVELOPN

Stamp:

PROFESSIONAL PORTING TO THE PROFESSIONAL PROFESSIONAL PORTING THE PROFESSIONAL PROFESSIO

No. Description Date

1 Entitlement 2025.10.
Corrections 28

PROPOSED 31

2-STOREY
CONDOMINIUM UNIT
COMPLEX

NWC OF OLIVE ST. & C

CA 92345

AVENUE, HESPERIA,

SITE DETAILS

Project number 23-M-56

Date Issue Date

Drawn by CB

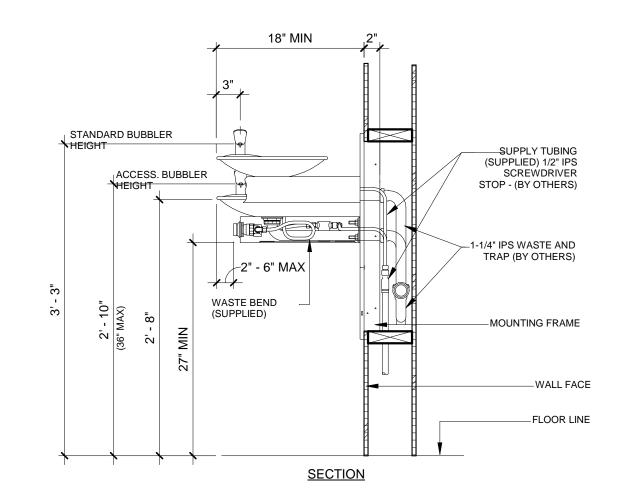
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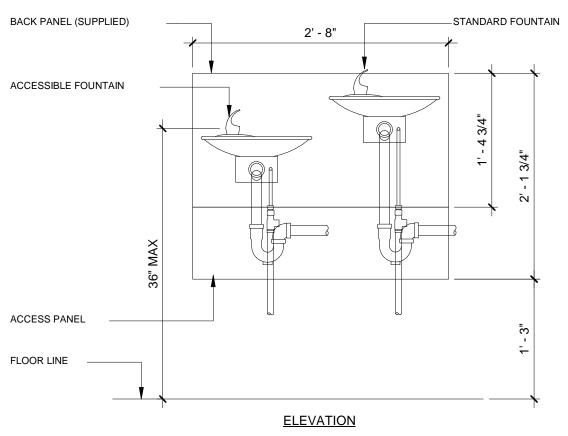
As indicated

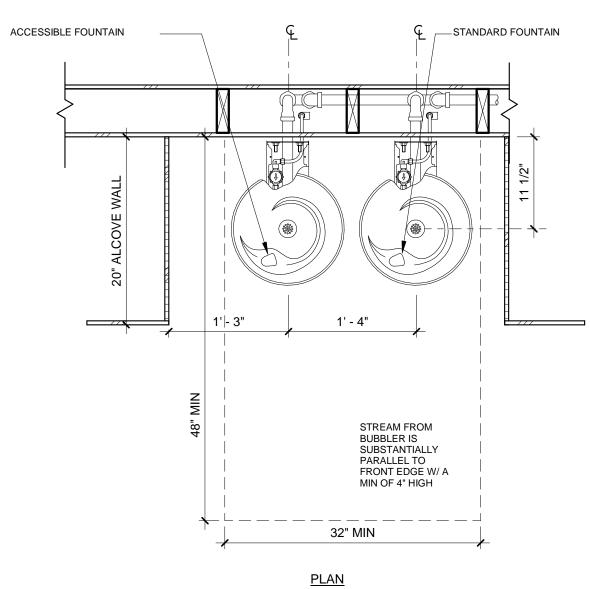
11B-602.6 WATER FLOW
THE SPOUT SHALL PROVIDE A FLOW OF WATER 4" HIGH MAXIMUM AND SHALL BE LOCATED
5" MAXIMUM FROM THE FRONT OF THE UNIT. THE ANGLE OF THE WATER STREAM SHALL BE
MEASURED HORIZONTALLY RELATIVE TO THE FRONT FACE OF THE UNIT. WHERE SPOUTS ARE LOCATED LESS THAN 3" OF THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 30 DEGREES MAXIMUM. WHERE SPOUTS ARE LOCATED BETWEEN 3" AND 5" MAXIMUM FROM THE FRONT OF THE UNIT, THE ANGLE OF THE WATER STREAM SHALL BE 15 DEGREES MAXIMUM.

11B-602.7 DRINKING FOUNTAINS FOR STANDING PERSONS SPOUT OUTLETS OF DRINKING FOUNTAINS FOR STANDING PERSONS SHALL BE 38" MIN. AND 43" MAX. ABOVE THE FINISH FLOOR OR GROUND.

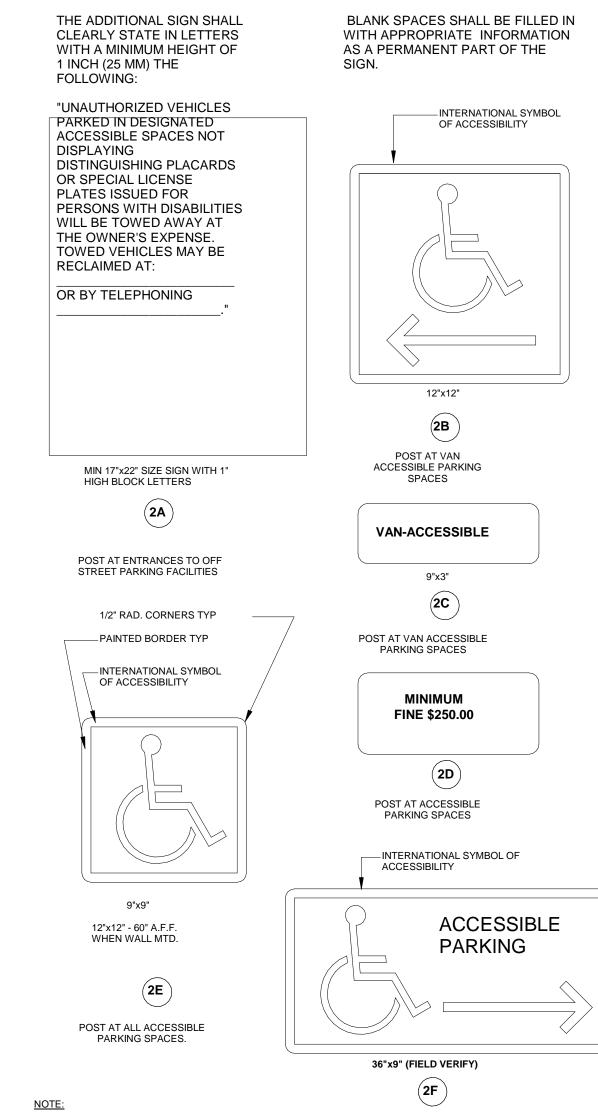
11B-602.9 PEDESTRIAN PROTECTION
ALL DRINKING FOUNTAINS SHALL EITHER BE LOCATED COMPLETELY WITHIN ALCOVES, POSITIONED COMPLETELY BETWEEN WING WALLS, OR OTHERWISE POSITIONED SO AS NOT TO ENCROACH INTO PEDESTRIAN WAYS. THE PROTECTED AREA WITHIN WHICH A DRINKING FOUNTAIN IS LOCATED SHALL BE 32" WIDE MIN, AND 18" DEEP MIN, AND SHALL COMPLY WITH SECTION 11B-305.7. WHEN USED, WING WALLS OR BARRIERS SHALL PROJECT HORIZONTALLY AT LEAST AS FAR AS THE DRINKING FOUNTAIN AND TO WITHIN 6" VERTICALLY FROM THE FLOOR OR GROUND SURFACE.







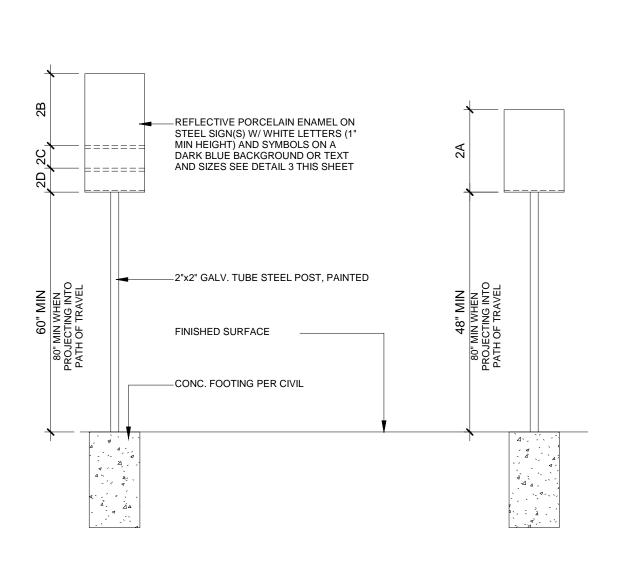
DUAL HEIGHT DRINKING FOUNTAIN SCALE: 1" = 1'-0"



1. ALL LETTERS & SYMBOLS SPECIFIED ABOVE SHALL CONSIST OF A REFLECTIVE WHITE IGURE ON A BLUE BACKGROUND ALL SIGNAGE TO COMPLY WITH ACCESSIBILIT TITLE 24 AND APPLICABLE CODES.

2. SEE DETAIL 6 ON THIS SHEET FOR POSTING HEIGHT. 3. ALL CHARACTERS ARE A PERMANENT PART OF THE SIGN. 4. ALL SIGNS TO HAVE 1/8" RAD. CORNERS MIN.

SIGN TYPES SCALE: 3" = 1'-0"



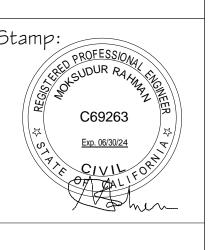
ACCESSIBILITY SIGNAGE SCALE: 1/2" = 1'-0"

RAHMAN ENGINEERING

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DEVELOPMENT

STREET



No.	Description	Date

PROPOSED 31 2-STOREY CONDOMINIUM UNIT COMPLEX NWC OF OLIVE ST. & C AVENUE, HESPERIA, CA 92345

ACCESSIBILITY DETAILS

Project number Issue Date Drawn by Checked by

As indicated